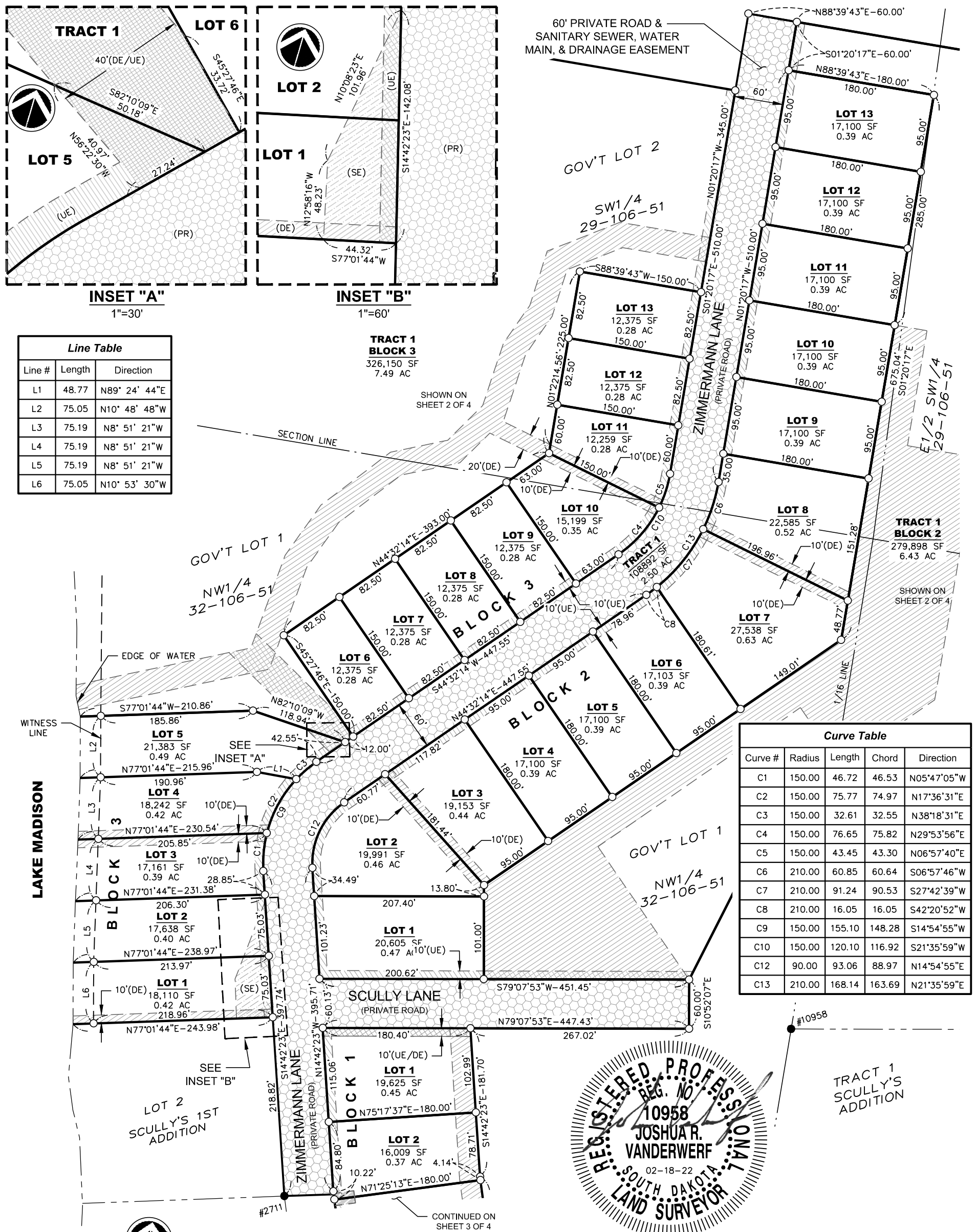


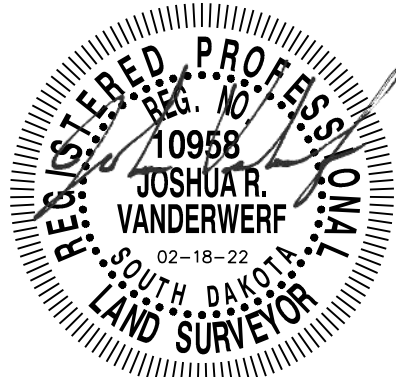
**PLAT OF LOTS 1-12 & TRACT 1 IN BLOCK 1; LOTS 1-13 & TRACT 1 IN BLOCK 2;
LOTS 1-13, & TRACT 1 IN BLOCK 3; & TRACT 1 OF
ZIMMERMANN LANDING ADDITION**

IN GOVERNMENT LOT 2 & THE E1/2 OF THE SW1/4 OF SECTION 29 & IN GOVERNMENT LOT 1 & THE E1/2 OF THE NW1/4
OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA
CONTAINING ±34.85 ACRES



Line Table		
Line #	Length	Direction
L1	48.77	N89° 24' 44"E
L2	75.05	N10° 48' 48"W
L3	75.19	N8° 51' 21"W
L4	75.19	N8° 51' 21"W
L5	75.19	N8° 51' 21"W
L6	75.05	N10° 53' 30"W

Curve Table				
Curve #	Radius	Length	Chord	Direction
C1	150.00	46.72	46.53	N05°47'05"W
C2	150.00	75.77	74.97	N17°36'31"E
C3	150.00	32.61	32.55	N38°18'31"E
C4	150.00	76.65	75.82	N29°53'56"E
C5	150.00	43.45	43.30	N06°57'40"E
C6	210.00	60.85	60.64	S06°57'46"W
C7	210.00	91.24	90.53	S27°42'39"W
C8	210.00	16.05	16.05	S42°20'52"W
C9	150.00	155.10	148.28	S14°54'55"W
C10	150.00	120.10	116.92	S21°35'59"W
C12	90.00	93.06	88.97	N14°54'55"E
C13	210.00	168.14	163.69	N21°35'59"E



GENERAL NOTES:

- BASIS OF BEARINGS FOR THIS DRAWING IS UTM WITH NAD83 DATUM, ZONE 14, US FOOT.
- RESEARCH OF EXISTING EASEMENTS OF RECORD WAS NOT PERFORMED.

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PAGE 1 OF 4



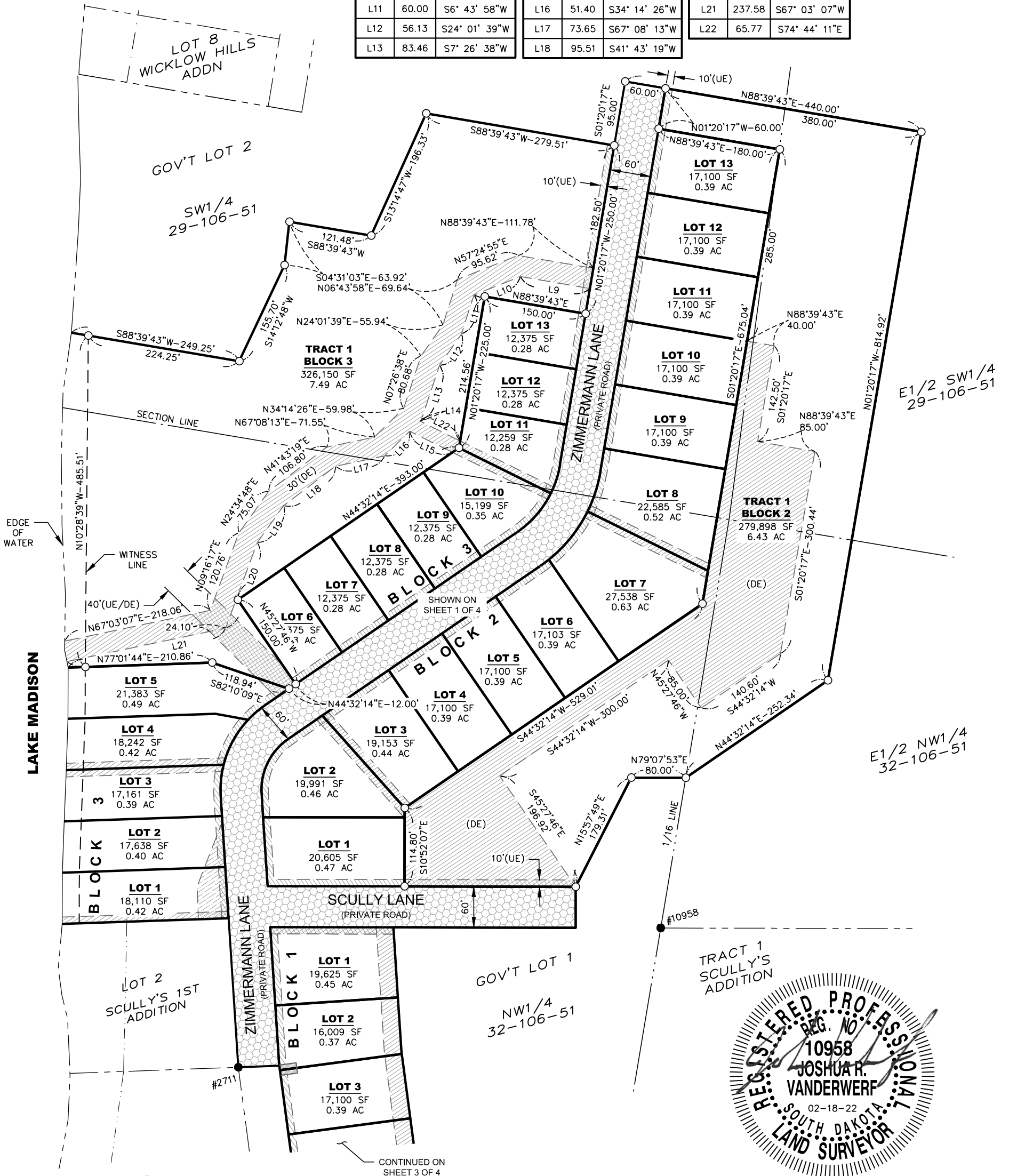
- LEGEND**
- - - - - EASEMENT LINE
 - - - - - PROPERTY LINE
 - - - - - SECTION LINE
 - - - - - QUARTER LINE
 - - - - - SIXTEENTH LINE
 - - - - - PLATTED PROPERTY LINE
 - FOUND MONUMENT
 - SET 5/8" x 18" CAPPED REBAR
 - FOUND SECTION CORNER
 - - (SE) SANITARY EASEMENT
 - - (UE) UTILITY EASEMENT
 - - (GE) GATE EASEMENT
 - - (DE) DRAINAGE EASEMENT
 - - (PR) 60' PRIVATE ROAD & SANITARY SEWER, WATER MAIN, & DRAINAGE EASEMENT



**PLAT OF LOTS 1-12 & TRACT 1 IN BLOCK 1; LOTS 1-13 & TRACT 1 IN BLOCK 2;
LOTS 1-13, & TRACT 1 IN BLOCK 3; & TRACT 1 OF
ZIMMERMANN LANDING ADDITION**

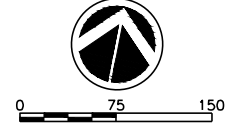
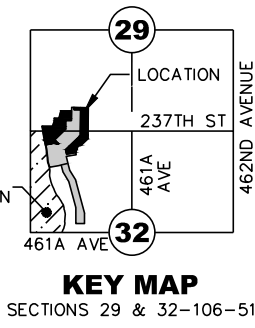
IN GOVERNMENT LOT 2 & THE E1/2 OF THE SW1/4 OF SECTION 29 & IN GOVERNMENT LOT 1 & THE E1/2 OF THE NW1/4
OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA
CONTAINING ±34.85 ACRES

Line Table			Line Table			Line Table		
Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction
L9	103.39	S88° 39' 43"W	L14	3.43	S34° 14' 26"W	L19	66.52	S24° 34' 48"W
L10	73.03	S57° 24' 55"W	L15	70.03	N74° 44' 11"W	L20	133.28	S9° 16' 17"W
L11	60.00	S6° 43' 58"W	L16	51.40	S34° 14' 26"W	L21	237.58	S67° 03' 07"W
L12	56.13	S24° 01' 39"W	L17	73.65	S67° 08' 13"W	L22	65.77	S74° 44' 11"E
L13	83.46	S7° 26' 38"W	L18	95.51	S41° 43' 19"W			



- GENERAL NOTES:**
1. BASIS OF BEARINGS FOR THIS DRAWING IS UTM WITH NAD83 DATUM, ZONE 14, US FOOT.
 2. RESEARCH OF EXISTING EASEMENTS OF RECORD WAS NOT PERFORMED.

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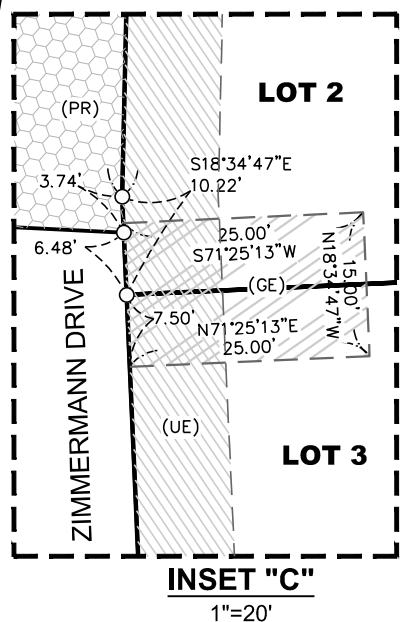
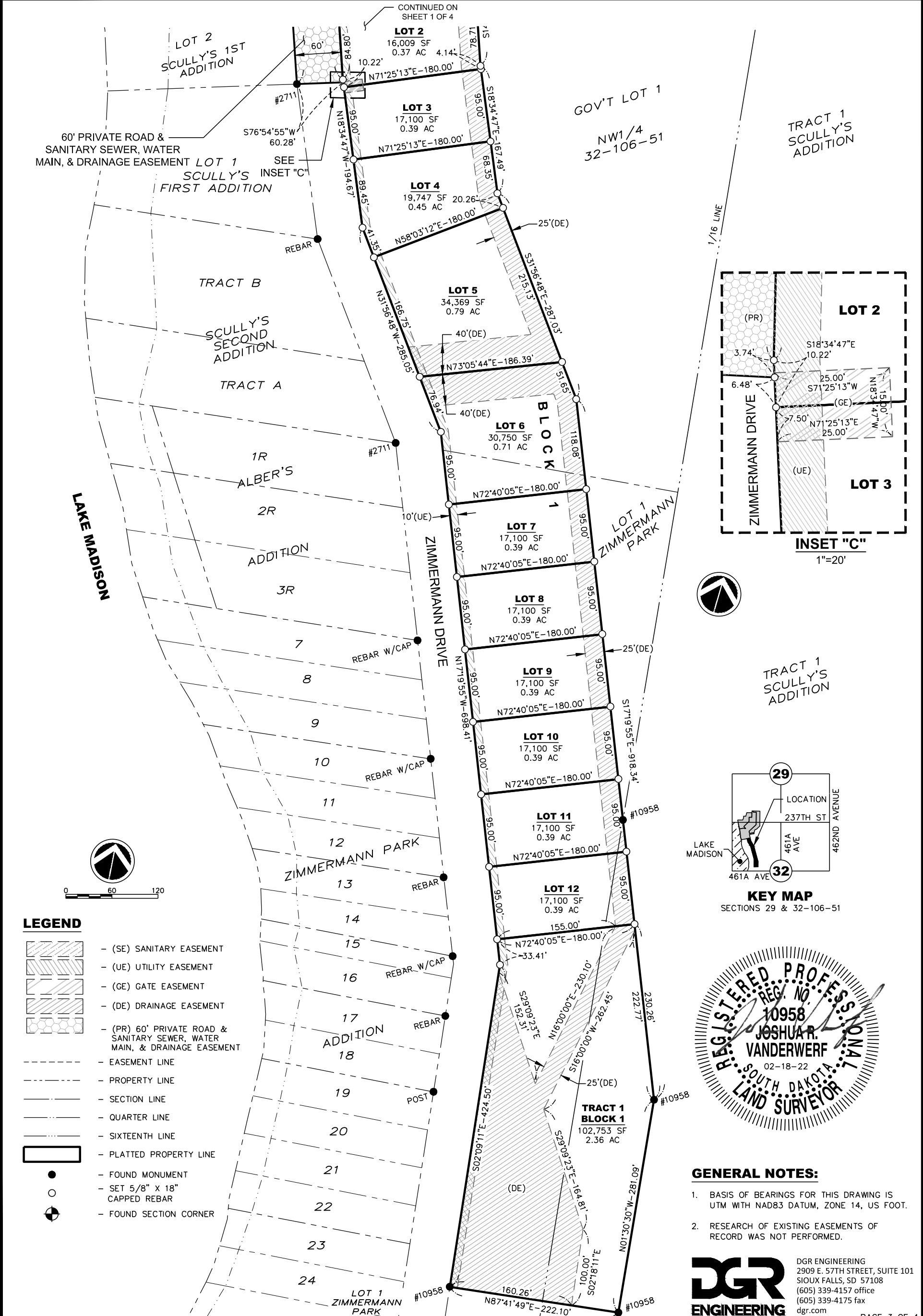
LEGEND

	- EASEMENT LINE
	- PROPERTY LINE
	- SECTION LINE
	- QUARTER LINE
	- SIXTEENTH LINE
	- PLATTED PROPERTY LINE
	- FOUND MONUMENT
	- SET 5/8" x 18" CAPPED REBAR
	- FOUND SECTION CORNER

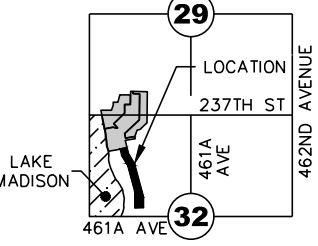
	- (SE) SANITARY EASEMENT
	- (UE) UTILITY EASEMENT
	- (GE) GATE EASEMENT
	- (DE) DRAINAGE EASEMENT
	- (PR) 60' PRIVATE ROAD & SANITARY SEWER, WATER MAIN, & DRAINAGE EASEMENT

PLAT OF LOTS 1-12 & TRACT 1 IN BLOCK 1; LOTS 1-13 & TRACT 1 IN BLOCK 2;
 LOTS 1-13, & TRACT 1 IN BLOCK 3; & TRACT 1 OF
ZIMMERMANN LANDING ADDITION

IN GOVERNMENT LOT 2 & THE E1/2 OF THE SW1/4 OF SECTION 29 & IN GOVERNMENT LOT 1 & THE E1/2 OF THE NW1/4
 OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA
 CONTAINING ±34.85 ACRES



TRACT 1
 SCULLY'S
 ADDITION



GENERAL NOTES:

1. BASIS OF BEARINGS FOR THIS DRAWING IS UTM WITH NAD83 DATUM, ZONE 14, US FOOT.
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LEGEND

- (SE) SANITARY EASEMENT
- (UE) UTILITY EASEMENT
- (GE) GATE EASEMENT
- (DE) DRAINAGE EASEMENT
- (PR) 60' PRIVATE ROAD & SANITARY SEWER, WATER MAIN, & DRAINAGE EASEMENT
- EASEMENT LINE
- PROPERTY LINE
- SECTION LINE
- QUARTER LINE
- SIXTEENTH LINE
- PLATTED PROPERTY LINE
- FOUND MONUMENT
- SET 5/8" X 18" CAPPED REBAR
- FOUND SECTION CORNER

PLAT OF LOTS 1-12 & TRACT 1 IN BLOCK 1; LOTS 1-13 & TRACT 1 IN BLOCK 2;
 LOTS 1-13, & TRACT 1 IN BLOCK 3; & TRACT 1 OF
ZIMMERMANN LANDING ADDITION

IN GOVERNMENT LOT 2 & THE E1/2 OF THE SW1/4 OF SECTION 29 & IN GOVERNMENT LOT 1 & THE E1/2 OF THE NW1/4
 OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA
 CONTAINING ±34.85 ACRES

SURVEYOR'S CERTIFICATE

I, JOSHUA VANDERWERF, A REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA DO HEREBY CERTIFY THAT ON OR BEFORE JULY 16TH, 2021, I HAVE SURVEYED A PORTION OF GOVERNMENT LOT 2 & A PORTION OF THE E1/2 OF THE SW1/4 OF SECTION 29 & A PORTION OF GOVERNMENT LOT 1 & A PORTION OF THE E1/2 OF THE NW1/4 OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA & A PORTION OF LOT 1 ZIMMERMANN PARK A SUBDIVISION OF GOVERNMENT LOT 2 OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA, AND PLATTED THE SAME INTO LOTS 1-12 & TRACT 1 IN BLOCK 1; LOTS 1-13 & TRACT 1 IN BLOCK 2; LOTS 1-13, & TRACT 1 IN BLOCK 3; & TRACT 1 OF ZIMMERMANN LANDING ADDITION IN GOVERNMENT LOT 2 & THE E1/2 OF THE SW1/4 OF SECTION 29 & GOVERNMENT LOT 1 & THE E1/2 OF THE NW1/4 OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA, WITH ACRES AND DIMENSIONS AS SHOWN ON THE ABOVE PLAT.

THE SAME SHALL HEREAFTER BE KNOWN AND DESCRIBED AS LOTS 1-12 & TRACT 1 IN BLOCK 1; LOTS 1-13 & TRACT 1 IN BLOCK 2; LOTS 1-13, & TRACT 1 IN BLOCK 3; & TRACT 1 OF ZIMMERMANN LANDING ADDITION IN GOVERNMENT LOT 2 & THE E1/2 OF THE SW1/4 OF SECTION 29 & GOVERNMENT LOT 1 & THE E1/2 OF THE NW1/4 OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA.

I FURTHER CERTIFY THAT THE ABOVE PLAT CORRECTLY REPRESENTS THE SAME TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT THIS SURVEY WAS PERFORMED AT THE REQUEST AND UNDER THE DIRECTION OF THE OWNERS FOR THE PURPOSE OF TRANSFER.

DATED THIS 18TH DAY OF FEBRUARY, 2022.



Joshua R. Vanderwerf
 02-18-22
 JOSHUA R. VANDERWERF LS REG. NO. 10958

OWNER'S CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF ALL LAND INCLUDED IN THE ABOVE PLAT AND THAT SAID PLAT HAS BEEN MADE AT MY REQUEST AND IN ACCORDANCE WITH OUR INSTRUCTIONS FOR THE PURPOSES (INDICATED HEREIN), AND THAT THE DEVELOPMENT OF THIS LAND SHALL CONFORM TO ALL EXISTING APPLICABLE ZONING, SUBDIVISION AND EROSION AND SEDIMENT CONTROL REGULATIONS. I HEREBY DEDICATE TO THE PUBLIC FOR PUBLIC USE FOREVER, THE STREETS, ROADS, ALLEYS AND PARKS AND PUBLIC GROUNDS, DESIGNATED AS ZIMMERMANN DRIVE, WHICH WAS PREVIOUSLY DEDICATED TO PUBLIC USE WITH THE PLAT OF ZIMMERMANN PARK, SCULLY'S FIRST ADDITION, AND SCULLY'S SECOND ADDITION, AS SHOWN ON SAID PLATS, INCLUDING ALL SEWERS, CULVERTS, BRIDGES, WATER DISTRIBUTION LINES, SIDEWALKS AND OTHER IMPROVEMENTS ON OR UNDER THE STREETS, ROADS, ALLEYS, PARKS AND PUBLIC GROUNDS, WHETHER SUCH IMPROVEMENTS ARE SHOWN OR NOT. I ALSO HEREBY GRANT EASEMENTS TO RUN WITH THE LAND FOR WATER, DRAINAGE, SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER PUBLIC UTILITY LINES OR SERVICES UNDER, ON OR OVER THOSE STRIPS OF LAND DESIGNATED HEREON AS EASEMENTS. I ALSO CERTIFY THAT CONSTRUCTION AND MAINTENANCE, INCLUDING SNOW REMOVAL, OF ZIMMERMANN DRIVE AS SHOWN ON SAID PLAT SHALL BE PROVIDED BY THE ADJOINING LOT OWNERS IN ACCORDANCE WITH THE COVENANTS OF RECORD FILED WITH THE LAKE COUNTY REGISTER OF DEEDS, AND SAID ROADS SHALL BE KEPT AND PRESERVED AT ALL TIMES IN A GOOD CONDITION OF REPAIR AND MAINTENANCE. THIS SHALL REMAIN IN EFFECT UNTIL A PUBLIC ENTITY ACCEPTS THE MAINTENANCE OF SAID ROADS.

I FURTHER GRANT AND CERTIFY THAT THE ROADWAYS SHOWN AS ZIMMERMANN LANE AND SCULLY LANE, TRACT 1 OF ZIMMERMANN LANDING ADDITION, ARE PRIVATE ROADWAYS WHICH ARE HEREBY RESERVED AS A PERMANENT UNOBSTRUCTED ACCESS. SAID ROADWAYS ARE FOR VEHICULAR AND PEDESTRIAN TRAVEL FOR THE PURPOSE OF ACCESS TO THE ABUTTING PROPERTY. IT IS UNDERSTOOD THAT THE OWNER, THEIR LESSEES AND ASSIGNEES OF ZIMMERMANN LANE AND SCULLY LANE, TRACT 1 OF ZIMMERMANN LANDING ADDITION HAVE THE RESPONSIBILITY WITH RESPECT TO MAINTAINING SAID PRIVATE ROADWAYS. SAID GRANT IS TO RUN WITH THE LAND. AS NO DEDICATION TO THE PUBLIC IS BEING MADE OF SAID PRIVATE ROADWAYS, THE OWNERS, THEIR LESSEES AND ASSIGNEES, OF THE PROPERTY PLATTED AS ZIMMERMANN LANE AND SCULLY LANE, TRACT 1 OF ZIMMERMANN LANDING ADDITION, SHALL AT THEIR OWN COST AND EXPENSE KEEP AND PRESERVE SAID PRIVATE ROADWAYS AT ALL TIMES IN A GOOD CONDITION OF REPAIR AND MAINTENANCE, AND CLEAR OF SNOW AND OTHER OBSTRUCTIONS AND NEITHER ERECT NOR PERMIT ERECTION OF ANY IMPROVEMENTS OF ANY KIND WITHIN SAID PRIVATE ROADWAYS WHICH MIGHT INTERFERE IN ANY WAY WITH THE PROPER MAINTENANCE, USE, REPAIR, RECONSTRUCTION AND PATROLLING OF SAID PRIVATE ROADWAYS. THIS SHALL REMAIN IN EFFECT UNTIL A PUBLIC ENTITY ACCEPTS THE ROADWAYS AS A PUBLIC DEDICATION

I FURTHER CERTIFY THAT THIS PLATTING OF SAID DESCRIBED LOTS 1-12 & TRACT 1 IN BLOCK 1; LOTS 1-13 & TRACT 1 IN BLOCK 2; LOTS 1-13, & TRACT 1 IN BLOCK 3; & TRACT 1 OF ZIMMERMANN LANDING ADDITION IN GOVERNMENT LOT 2 & THE E1/2 OF THE SW1/4 OF SECTION 29 & GOVERNMENT LOT 1 & THE E1/2 OF THE NW1/4 OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA DOES HEREBY VACATE A PORTION OF:

LOT 1 ZIMMERMANN PARK A SUBDIVISION OF GOVERNMENT LOT 2 OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA ON FILE AT THE REGISTER OF DEEDS OFFICE IN BOOK 4 OF PLATS, PAGE 43.

DATED THIS _____ DAY OF _____, 2022

 LORAL WILBUR, PRESIDENT
 ZL, INC

STATE OF _____)
)SS
 COUNTY OF _____)

ON THIS _____ DAY OF _____, 2022, BEFORE ME, APPEARED LORAL WILBUR, PRESIDENT OF ZL, INC., AND THAT SHE, AS SAID PRESIDENT AND BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENTS FOR THE PURPOSE THEREIN CONTAINED.

IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2022.

 MY COMMISSION EXPIRES:
 NOTARY PUBLIC, LAKE COUNTY, _____

COUNTY PLANNING COMMISSION

RECOMMENDED FOR APPROVAL BY THE LAKE COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 2022.

 CHAIRMAN, LAKE COUNTY PLANNING COMMISSION

BOARD OF COUNTY COMMISSIONERS

IT WAS MOVED BY _____ AND SECONDED BY _____ AND MOTION CARRIED, THAT THE PLAT SHOWN HEREON AND DESCRIBED AS LOTS 1-12 & TRACT 1 IN BLOCK 1; LOTS 1-13 & TRACT 1 IN BLOCK 2; LOTS 1-13, & TRACT 1 IN BLOCK 3; & TRACT 1 OF ZIMMERMANN LANDING ADDITION IN GOVERNMENT LOT 2 & THE E1/2 OF THE SW1/4 OF SECTION 29 & GOVERNMENT LOT 1 & THE E1/2 OF THE NW1/4 OF SECTION 32, TOWNSHIP 106 NORTH, RANGE 51 WEST, OF THE 5TH P.M., LAKE COUNTY, SOUTH DAKOTA, BE APPROVED AND ACCEPTED BY THE LAKE COUNTY BOARD OF COMMISSIONERS.

DATED THIS _____ DAY OF _____, 2022.

 CHAIRMAN, LAKE COUNTY BOARD
 OF COUNTY COMMISSIONERS

COUNTY AUDITOR

I, LAKE COUNTY AUDITOR, SOUTH DAKOTA, DO HEREBY CERTIFY THAT THE ABOVE CERTIFICATE OF APPROVAL IS TRUE AND CORRECT INCLUDING THE SIGNATURES THERE ON.
 DATED THIS _____ DAY OF _____, 2022.

 COUNTY AUDITOR
 LAKE COUNTY, SOUTH DAKOTA

ROAD AUTHORITY CERTIFICATE

ACCESS TO THE ABUTTING ROAD IS HEREBY APPROVED. NECESSARY PERMITS, IF APPLICABLE, SHALL BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTING AN ACCESS. IN ACCORDANCE WITH SDCL 11-3-12, APPROVAL OF THE ACCESS SHALL NOT REQUIRE THE GOVERNING BODY TO OPEN, IMPROVE OR MAINTAIN ANY SUCH DEDICATED PUBLIC OR PRIVATE STREETS, ALLEYS, WAYS, COMMONS OR EASEMENTS.

 ROAD AUTHORITY

 TITLE

COUNTY TREASURER'S CERTIFICATE

I, THE TREASURER OF LAKE COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT ALL TAXES WHICH ARE LIENS UPON ANY LANDS IN THE ABOVE PLAT AS SHOWN BY THE RECORDS OF MY OFFICE TO BE PAID IN FULL.

SIGNED THIS _____ DAY OF _____, 2022.

 COUNTY TREASURER
 LAKE COUNTY, SOUTH DAKOTA

DIRECTOR OF EQUALIZATION

I, THE DIRECTOR OF EQUALIZATION OF LAKE COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT A COPY OF THE ABOVE PLAT HAS BEEN FILED IN MY OFFICE

THIS _____ DAY OF _____, 2022.

 DIRECTOR OF EQUALIZATION
 LAKE COUNTY, SOUTH DAKOTA

REGISTER OF DEEDS

FILED FOR RECORD THIS _____ DAY OF _____, 2022, AT _____ M.
 AND RECORDED IN BOOK _____ OF PLATS ON PAGE _____ THEREOF.

 REGISTER OF DEEDS
 LAKE COUNTY, SOUTH DAKOTA



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